












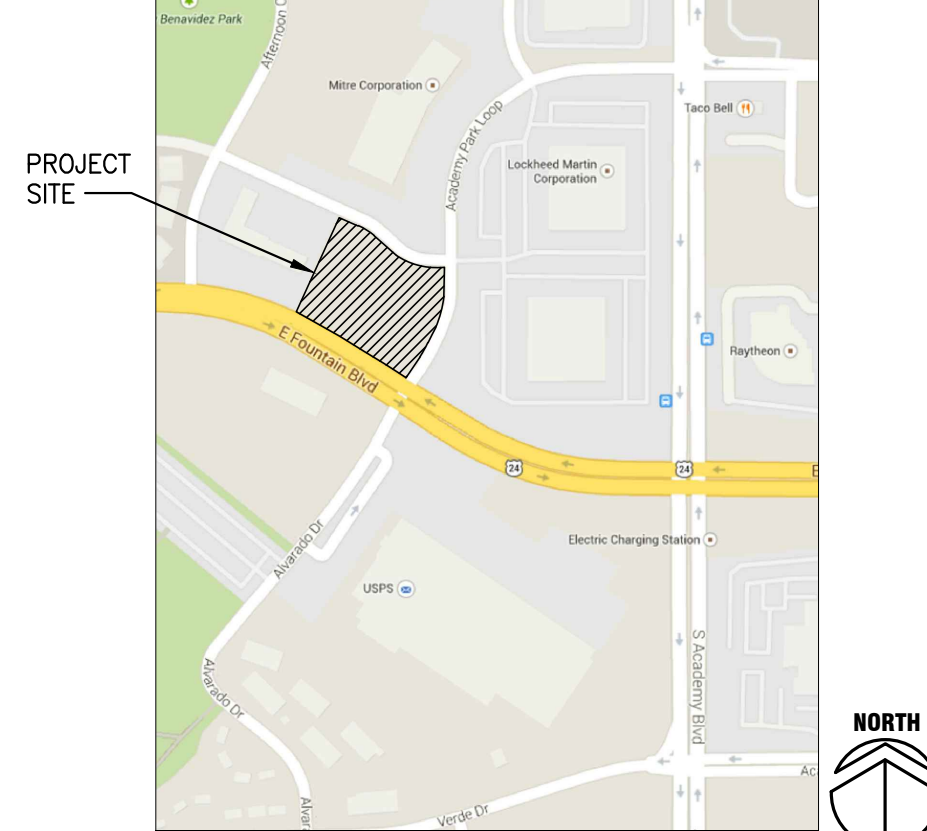


SITE PLAN LEGEND

- | | |
|---|---|
|  | PROPERTY BOUNDARY LINE |
|  | ADJACENT PROPERTY BOUNDARY LINE |
|  | EASEMENT BOUNDARY LINE |
|  | SETBACK LINE |
|  | EXISTING TO REMAIN |
|  | PROPOSED |
|  | ACCESSIBLE / PEDESTRIAN PATH OF TRAVEL |
|  | PROPOSED PARKING SPACES |
|  | MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS |
|  | |
|  | |
|  | PROPOSED SITE LIGHT, SEE PHOTOMETRIC PLAN |
|  | PROPOSED DRAINAGE STRUCTURES (SEE GRADING/DRAINAGE PLANS) |

FOR BID ONLY

VICINITY MAP



PROJECT DATA

PROJECT ADDRESS:	1255 ACADEMY PARK LOOP, COLORADO SPRINGS, CO 80910
PROJECT NAME:	CIRCLE K CONVENIENCE STORE WITH FUEL PUMPS
PROJECT DESCRIPTION:	PROPOSAL FOR A NEW 4,480 S.F. CONVENIENCE STORE AND A FUEL CANOPY WITH 10 FUEL PUMPS.
EXISTING ZONING:	PBO/ AO
PARCEL NUMBER:	SOUTHEAST ONE-QUARTER OF SECTION 22, TOWNSHIP 14 S. RANGE 66 WEST OF SIXTH PRINCIPAL MERIDIAN.
PARCEL/SITE AREA:	2.3487 ACRES (102,309 S.F.)
MAX. BUILD. HEIGHT:	40' PER 2009 IBC (23'-6" PROVIDED)
GROSS BUILDING AREA:	5,814 S.F. <ul style="list-style-type: none">• C-STORE AREA: 4,480 S.F.• CAR WASH AREA: 1,334 S.F.
GROSS FUEL CANOPY:	6,511 S.F.
PARKING REQUIRED:	4,480 SF/300 = 15 STALLS (INCLUDING 1 REQ'D VAN ACCESSIBLE STALL)
PARKING PROVIDED:	25 STALLS (INCLUDING 1 REQ'D VAN ACCESSIBLE STALL)

GENERAL SITE NOTES

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| 3. | FIRE DEPARTMENT VEHICLE ACCESS ROADSWAYS SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. | A. | SIGNS TO BE APPROVED BY SEPARATE PERMIT. |
| 2. | REQUIRED WATER FLOW SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION AND PRIOR TO ANY COMPLEMENTS BEING BROUGHT ON SITE. | B. | DUMPSTERS AND MECHANICAL EQUIPMENT WILL BE SCREENED FROM THE PUBLIC. |
| 3. | THE CONTRACTOR SHALL PROVIDE THE CITY INSPECTOR WITH COPY OF; THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR ABOVEGROUND PIPING" IN ACCORDANCE WITH NFPA 13, THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24, AND THE "CERTIFICATE OF COMPLETION" FOR FIRE ALARM SYSTEMS IN ACCORDANCE WITH NFPA 72, UPON SUCCESSFUL COMPLETION OF THE SYSTEM TEST AND PRIOR TO CITY ACCEPTANCE OF THE SYSTEM. | C. | WALLS OVER 6' HIGH TO BE APPROVED BY SEPARATE PERMIT. |
| 4. | G.C. WILL FURNISH AND INSTALL 5 LB. MULTIPURPOSE DRY CHEMICAL (2A/10BC) RATED EXTINGUISHERS AND ACCESSORIES AT 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAX. TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT. | D. | PARKING WILL BE PAVED. |
| 5. | ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE ADJACENT DRO (WITHIN 2' TO 4'- COORDINATE WITH FIRE MARSHALL PRIOR TO INSTALLATION WHERE APPLICABLE). | E. | PARKING WILL BE WITHIN 600' OF BUILDING. |
| 6. | ALL SITE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OR STORING COMBUSTIBLE BUILDING MATERIALS ON SITE. | | |
| 7. | AN ALL WEATHER ROAD WITH TWO POINTS OF ACCESS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. | | |
| 8. | FIRE PROTECTION SYSTEMS SHALL BE INSTALLED OR MODIFIED BY A CONTRACTOR LICENSED TO PERFORM SUCH WORK BY THE STATE OF COLORADO; AND WHO ALSO HOLDS A CURRENT VALID PERMIT FROM THE CITY FIRE DEPARTMENT TO CONDUCT SUCH WORK WITHIN THE CITY. | | |
| 9. | VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE ACCESS ROADS, AND/OR HYDRANTS. | | |

KEYNOTES

- PROPOSED CONVENIENCE STORE ±4,480 S.F.
- NEW ASPHALT PAVING OVER A.B.C. OVER COMPACTED FILL - SEE CIVIL PLANS AND SOILS REPORT.
- NEW LANDSCAPE AREA, SEE LANDSCAPE PLANS.
- PROPOSED UNDERGROUND STORAGE TANKS, SEE FUEL PLANS.
- LANDSCAPE PLANTER AREA, SEE LANDSCAPE PLANS.
- ACCESSIBLE PATH STRIPING WITH 4" WHITE STRIPE
- PROPOSED ELECTRICAL TRANSFORMER PAD, SEE CIVIL AND ELECTRICAL PLANS
- BIKE RACK, SEE CIVIL DRAWINGS.
- PROPOSED TRASH ENCLOSURE PER COLORADO SPRINGS STANDARD DETAILS, AND CIRCLE X APPROVAL, SEE SHEET SD1.3, SITE DETAILS.
- CONCRETE CURB, SEE CIVIL PLANS.
- NEW BUILDING UTILITIES SERVICE ENTRANCE SECTION. REFER TO ELEC. DWGS.
- PARKING LIGHT POLE FIXTURE, SEE SHEET SD1.3, SITE DETAILS.
- 0" CURB, SEE CIVIL PLANS.
- ACCESSIBLE PARKING PER COLORADO SPRINGS REQUIREMENTS, SEE CIVIL PLANS
- LOADING SPACE
- NEW SIDEWALK, SEE CIVIL PLANS.
- PROPOSED 18" WIDE STAMPED PATTERN CONCRETE
- PROPOSED 4" BOLLARD, SPACED EVERY 5', SEE CIVIL PLANS.
- PROPOSED CAR WASH ± 1,333.5 S.F. (UNDER SEPARATE PERMIT)
- PROPOSED FUEL CANOPY ±6,511 S.F.

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
01/19/15	PERMIT SET

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
MICHAEL THOMPSON

HUGHES THOMPSON

PROJECT MANAGER
OSCAR FLORES

QUALITY CONTROL

WARREN DRURY

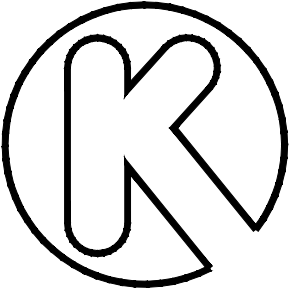
DRAWN BY

PROJECT NAME

**CIRCLE K
STORES, INC.**

COLORADO SPRINGS
COLORADO

E. FOUNTAIN BLVD & ACADEMY PARK LOOP



CIRCLE K STORES INC.

PROJECT NUMBER
20130780

SHEET TITLE

SITE PLAN

SHEET NUMBER

SD1.1